

Appendix F

Landscape and Visual

Ty Mawr West Quarry
Talysarn
Gwynedd

Landscape and Visual
421.03735.00001

November 2011

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Photograph 2 Blue and Green Quarry – Looking South

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Photograph 5 Nantlle Valley from Cilgwyn Landfill Site

DRAWINGS

Location Plan	TMW 01
Slate Extraction	TMW 02
Restoration Concept	TMW/L1
Development Plan	10-312-D-002
Cross Sections	10-312-D-003

1.0 INTRODUCTION

- 1.1 This report has been prepared by SLR Consulting on instructions received from Ty Mawr West Quarry Ltd in September 2011.

2.0 SCOPE

- 2.1 This report forms part of the environmental appraisal accompanying a planning application. It's purpose is to assess the landscape and visual features of land at Ty Mawr West, Talysarn, Gwynedd and to consider the potential impacts of the proposals for a minor extension of the presently silent Ty Mawr West – East Blue and Green Quarry. See Drg Nos TMW 01 and 10-312-D-002
- 2.2 The appraisal comprises
- A description of the planning application area and its surroundings
 - An appraisal of the visual significance
 - A summary of the findings and conclusions

3.0 THE SITE AND ITS SETTING

- 3.1 The proposed development is sited wholly within the confines of the existing Ty Mawr West Quarry located to the south of the B4418 public road, approximately 1km south east of the village of Talysarn – See Photograph 5 and Drg No. TMW 01.
- 3.2 The application area is roughly rectangular in shape and comprises 0.13 hectares of previously disturbed land. The slate quarries of Ty Mawr West, Ty Mawr East and Tyn-y-Weirglodd are located in close proximity to the western boundary of the Snowdonia National Park within an area of historic importance for slate production. This is strongly reflected in the surrounding landscape with the close proximity of a number of large operating and silent slate quarry sites. See Photograph 4 and Drg No TMW 01 and 02.
- 3.3 The nearby communities closely associated with the slate industry have historically developed around the villages of Talysarn and Nantlle.
- 3.4 Apart from the slate industry the other main land use is agricultural with large tracts of low grade hill pasture grazing by sheep.

4.0 VISUAL APPRAISAL

- 4.1 The existing most visually dominant feature of the Nantlle Valley sites is the extensive scale and distribution of the slate waste tips. Whilst the colour and form of the tips is prominent within this landscape they are a common theme within the immediate surrounding environment. Scrubby woodland vegetation has begun to establish on some of the lower margins of these tips which helps to integrate these tips within the landscape. See Photographs 4 and 5.
- 4.2 The slate tips and other remaining features of industrial archaeological importance are considered to be important features, with the presently permitted working schemes reflecting this and further affording protection to those features considered to be of particular importance.
- 4.3 The overall operational site becomes visible when leaving Nantlle and travelling west and leaving Talysarn and travelling east on the B4418 with close up views when passing the site entrance on the B4418. See Drg No TMW 01.
- 4.4 The physical footprint of the proposed mineral extraction area is very small (1300 square metres) with the proposed extraction located at the foot of a steep wooded scarp which obscures the area completely when viewed from the south. See Drgs No 10-312-D-002 and 003.
- 4.5 Similarly the remaining in situ slate faces to the east and west hide the proposed extraction area from view.
- 4.6 The location of the proposed site on a plateau of ground halfway up the slopes of the lower foothills of the Nantlle Valley ensures that the area is only visible from distant elevated ground to the north. See Photograph 5.

5.0 SUMMARY AND CONCLUSIONS

- 5.1 The Ty Mawr West Quarry is one of several both active and closed operations in the Nantlle Valley and together create a distinctly different character from their surrounding landscape.
- 5.2 The location of Ty Mawr West alongside the B4418 ensures that the current operations are visible but not that of the proposed small extraction area.
- 5.3 The proposal to extend the East Blue and Green Quarry within the Ty Mawr West Complex does not give rise to any significant adverse visual impacts, as the direct physical and indirect visual impact of the proposed works would be negligible and effect such a small area. See Photographs 1, 2 and 3.

Photograph 1

East Blue Quarry
Looking East



Photograph 1 - View of East Blue Quarry, view looking East

Photograph 2

Blue and Green Quarry
Looking South

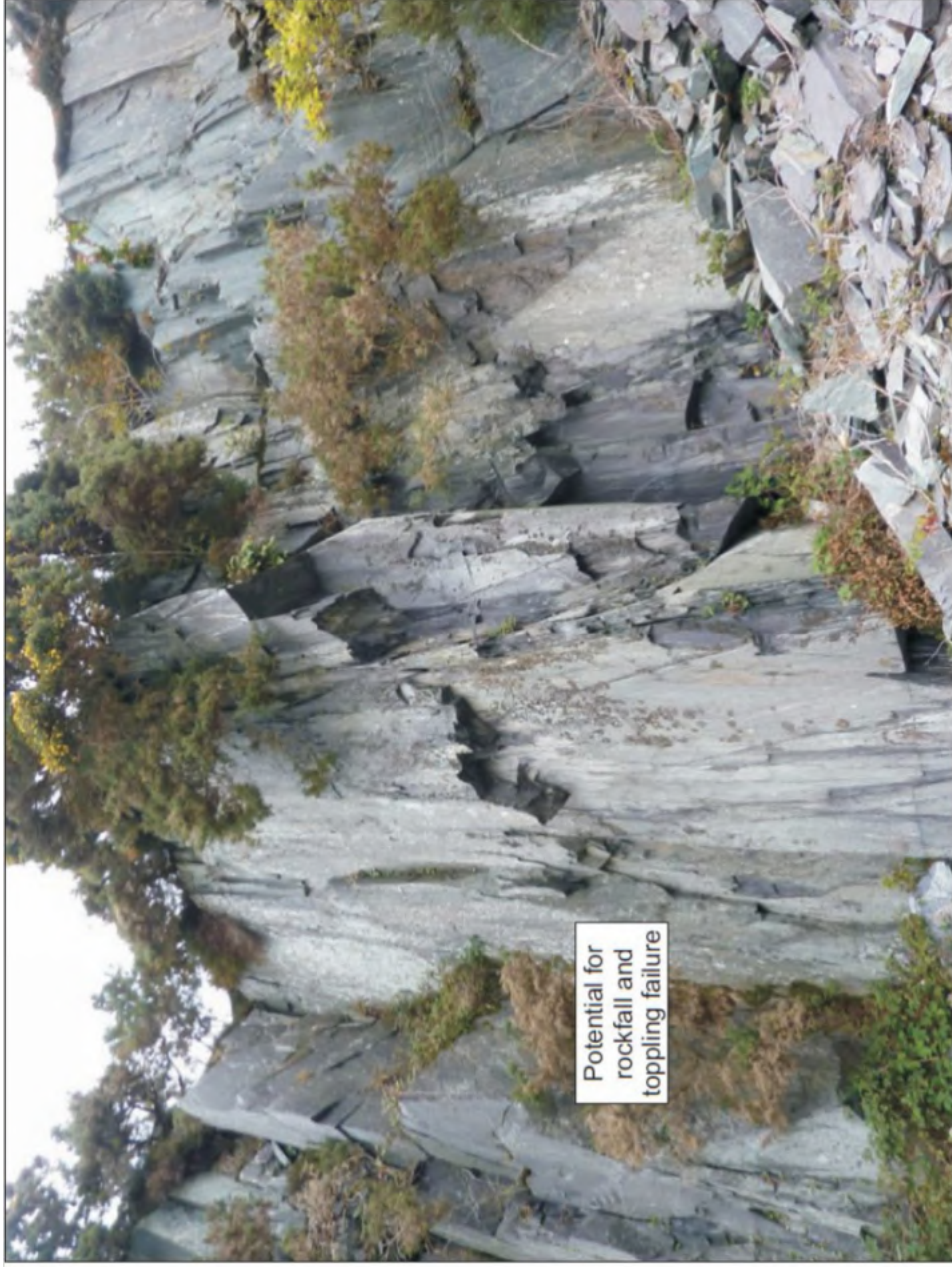


Photograph 2 - View of rockmass between the two quarry excavations, view looking south

Photograph 3

East Blue Quarry

East Face



Photograph 3 - View of Eastern Faces, East Blue Quarry

Photograph 4

Nantlle Valley

View from Cilgwyn Village

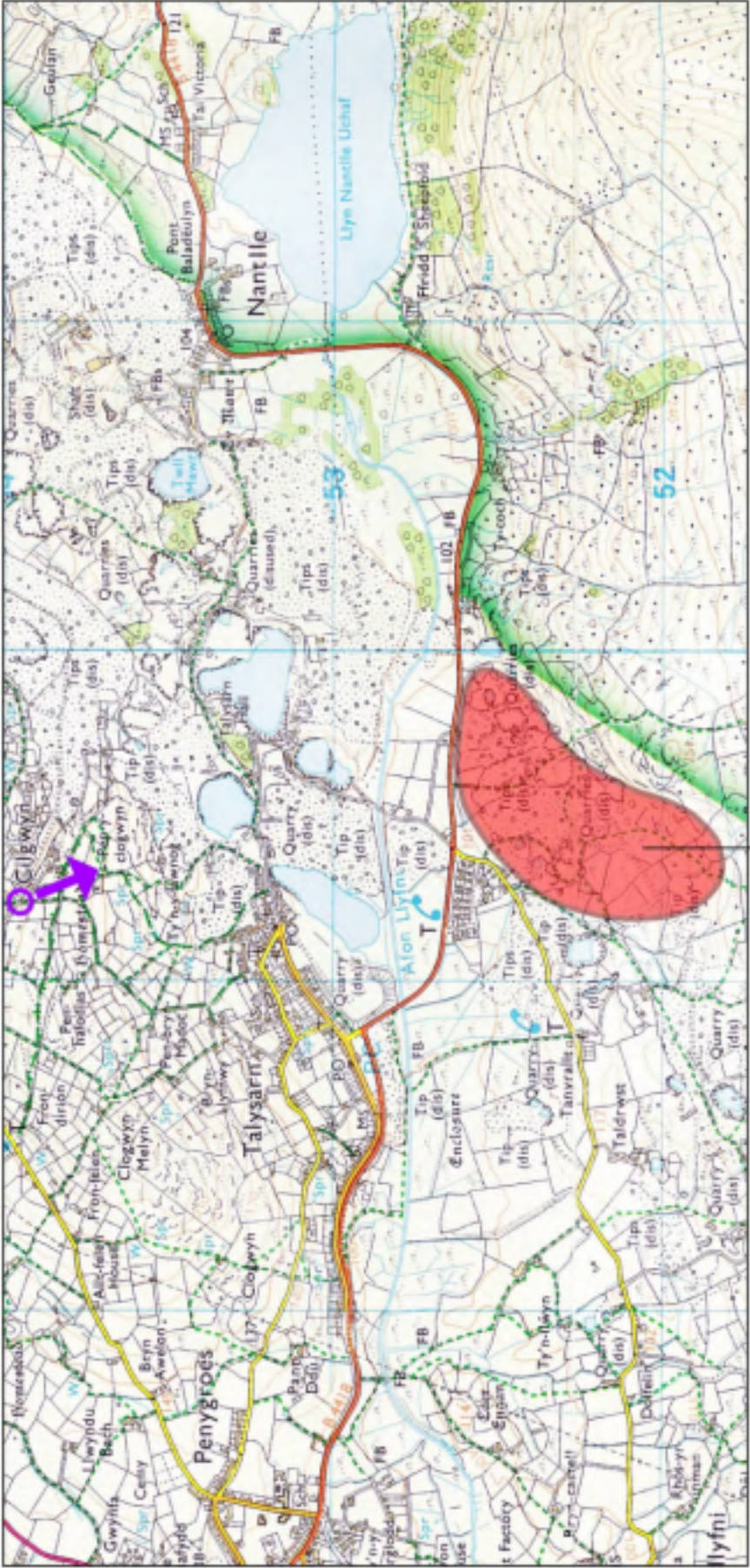
Ty Mawr East Ty Mawr West Tyn-y-weirgloedd

Ty Mawr Old East
Quarry
Application Area



Photograph 4 - View South to Nantlle Valley Slate Quarries from Cilgwynn Village

viewpoint position



Location of Photographic Viewpoint

indicative site area

-	JG	HH	08/09/11	Issued for Comment
Revision	By	Chk'd By	Date	Comments
 SLR SAILORS BETH-EL HORATIO STREET NEWCASTLE UPON TYNE TYNE AND WEAR, NE1 2PE T: 0191 261 1968 F: 0191 230 2346 www.slroconsulting.com				
Client				
Project TYN-Y-WEIRGLODD/ TY MAWR CONSOLIDATION				
Drawing Title VIEW OF NANTLE VALLEY SLATE QUARRIES FROM CILGWYN				
Scale NTS@A3	Date SEPTEMBER 2011		Revision -	
Drawing Number ###		FOR COMMENT		

Photograph 5

Nantlle Valley

View from Cilgwyn Landfill
Site



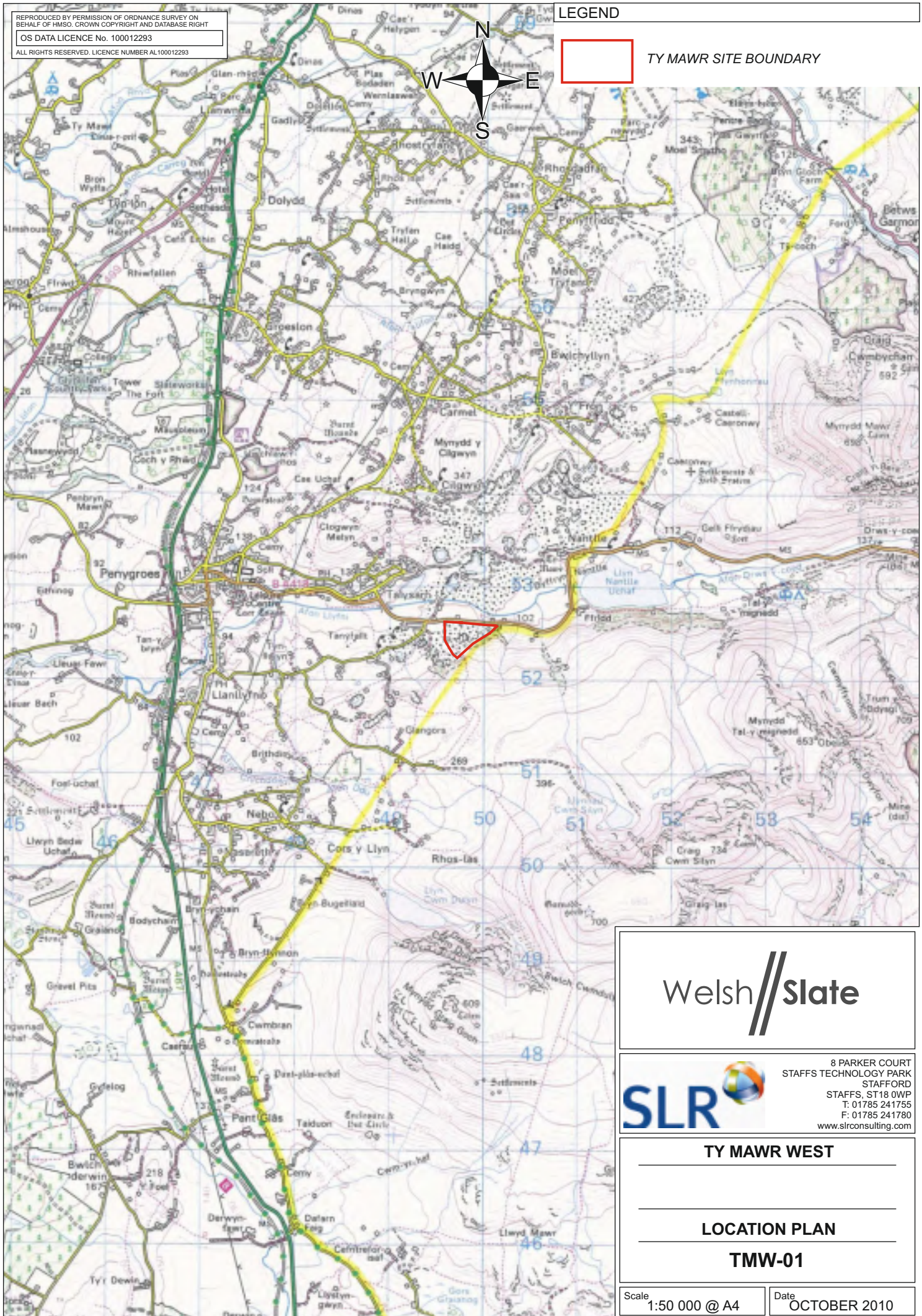
Photograph 5 - Nantlle Valley viewed from Gilgwyn Landfill Site

Drawings

LEGEND



TY MAWR SITE BOUNDARY



Welsh//Slate



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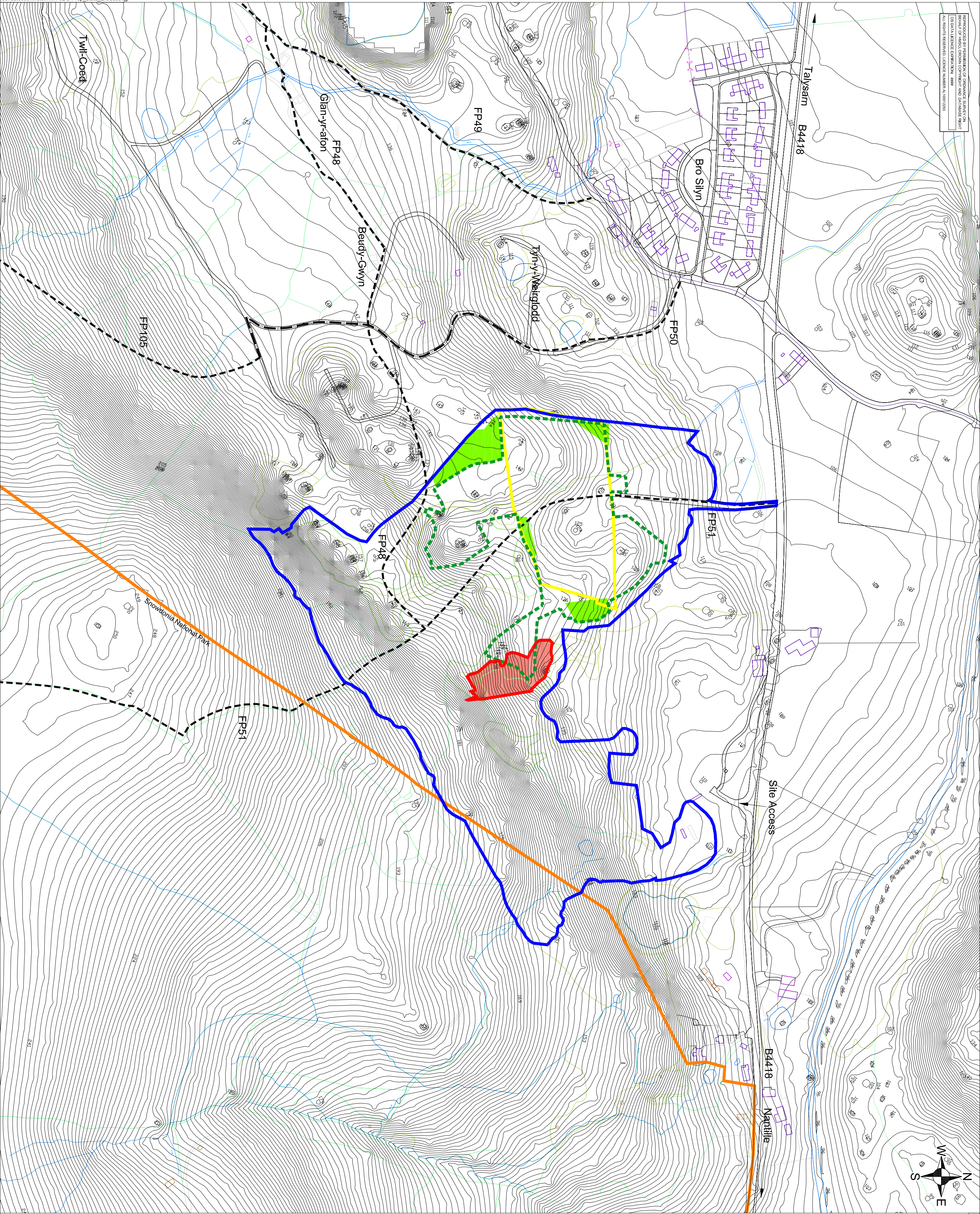
TY MAWR WEST

LOCATION PLAN

TMW-01

Scale
1:50 000 @ A4

Date
OCTOBER 2010



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LEGEND

- Company Boundary
- Application Area
- Snowdonia National Park
- PP. C01A0646/22MW Excavation Area
- PP. C09A0046/22MW Excavation Area
- PP. C09A0046/22MW Conservation Area
- Public Right of Way

D	MW	JBH	APR 12	Miscellaneous revisions
C	MW	JBH	MAR 12	Excavation area amended, haul route added, cons area corrected
B	ET	JBH	DEC 11	Proposed extraction text correction and area amended.
A	ET	JBH	NOV 11	Red line altered and Proposed Extraction Area added
Revision	By	Checked By	Date	Comments

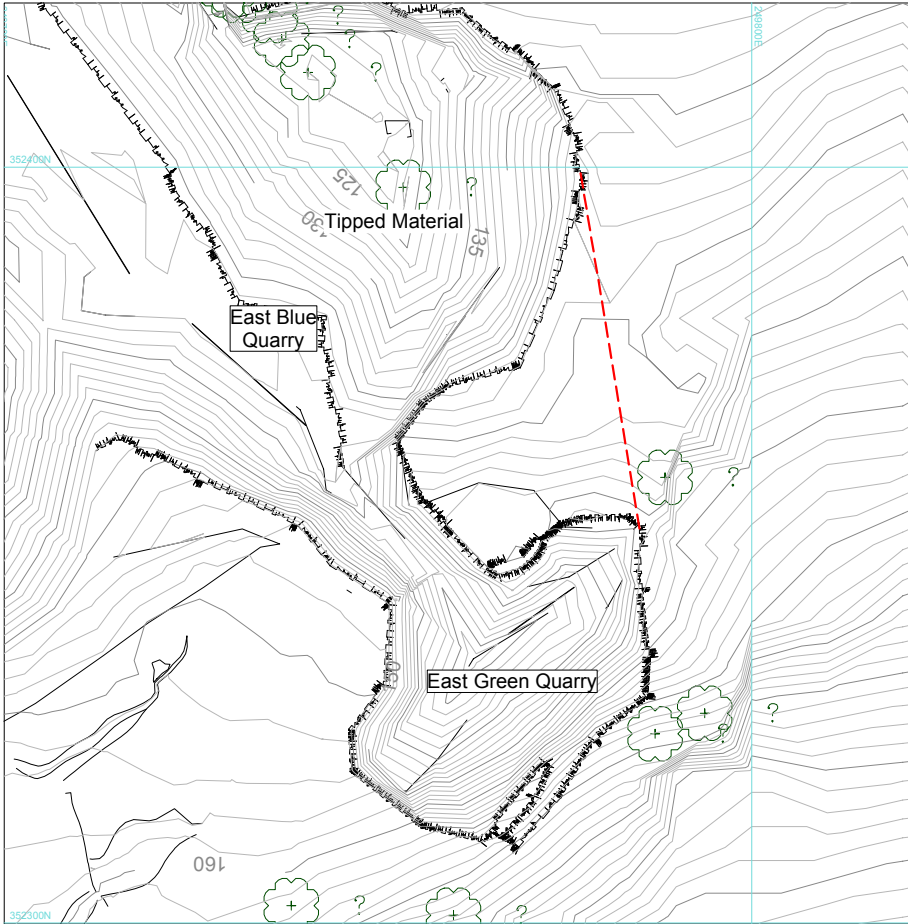
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Site
TY MAWR WEST SLATE LIMITED

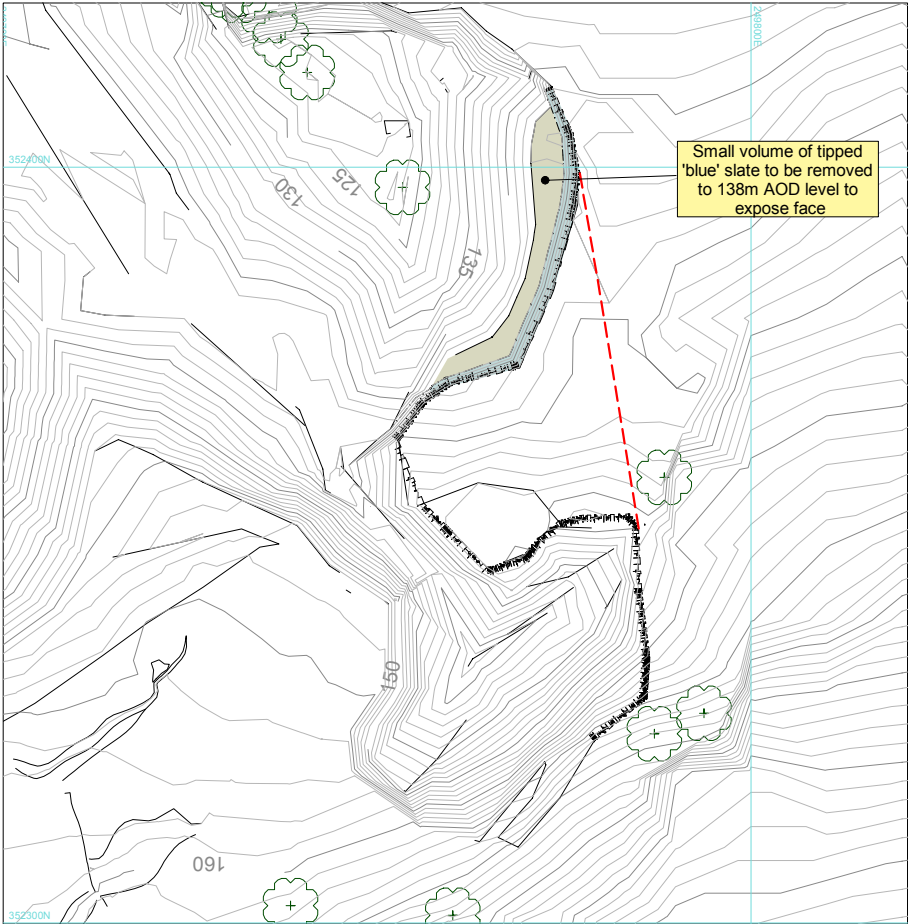
Project
TY MAWR WEST

Drawing Title
PROPOSED SLATE EXTRACTION

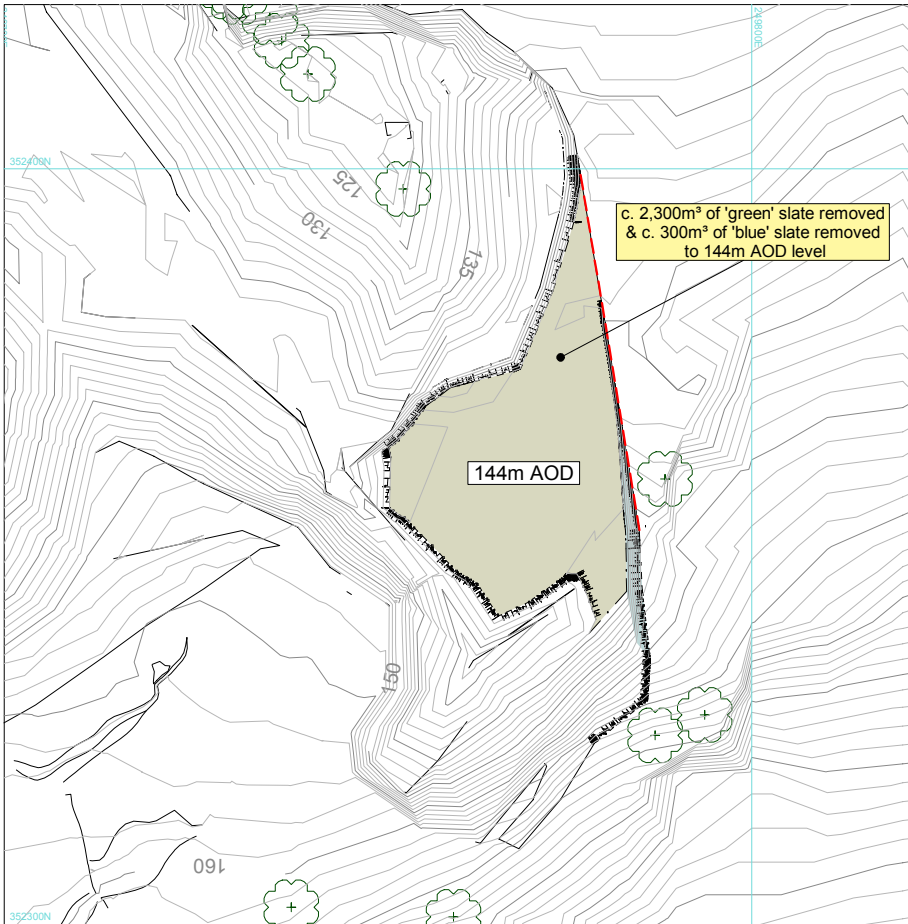
Scale 1:2,500@A2	Date NOV 2011
Drawing Number TMW02	Revision D



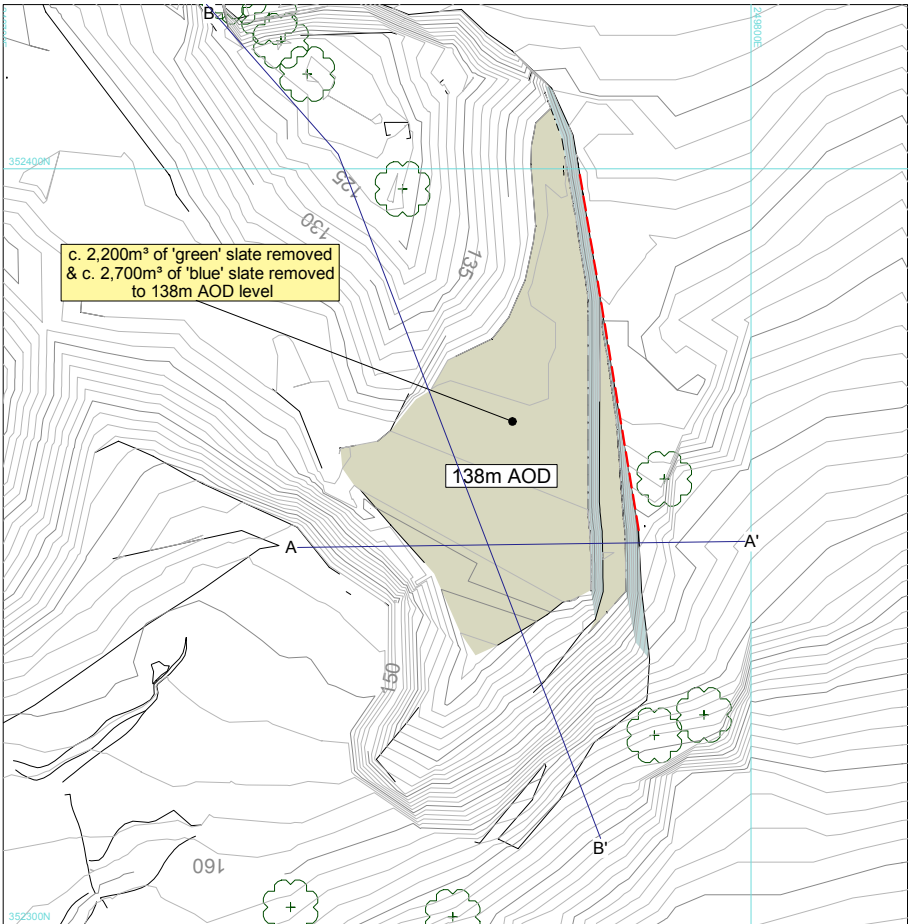
Topographical Survey (dated May 2008)



Removal of tipped material to 138m AOD level



Development of face to 144m AOD level



Development of face to 138m AOD level

The following provides an estimation of the volumes of virgin slate recoverable by the proposed development (no estimation is provided in respect of the volumes of tipped material that will be removed).

Total mineral =
c. 7,500m³
of which:
c. 4,500m³ 'green' slate
& c. 3,000m³ 'blue' slate

It is estimated that an additional 10,000m³ of slate could be extracted by development of the excavation to an elevation of 125m AOD.

This would need to be subject to prior assessment of the stability of the southern slopes and does not allow for removal of existing tipped slate that would be necessary to allow the development to take place.



LSS Model used to create plot: ****MODEL DETAIL****

Rev	Revision Detail	Drawn	Date
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CLIENT:

Ty Mawr West Limited

PROJECT: **Ty Mawr West Quarry**

TITLE: **Quarry Development Plan**

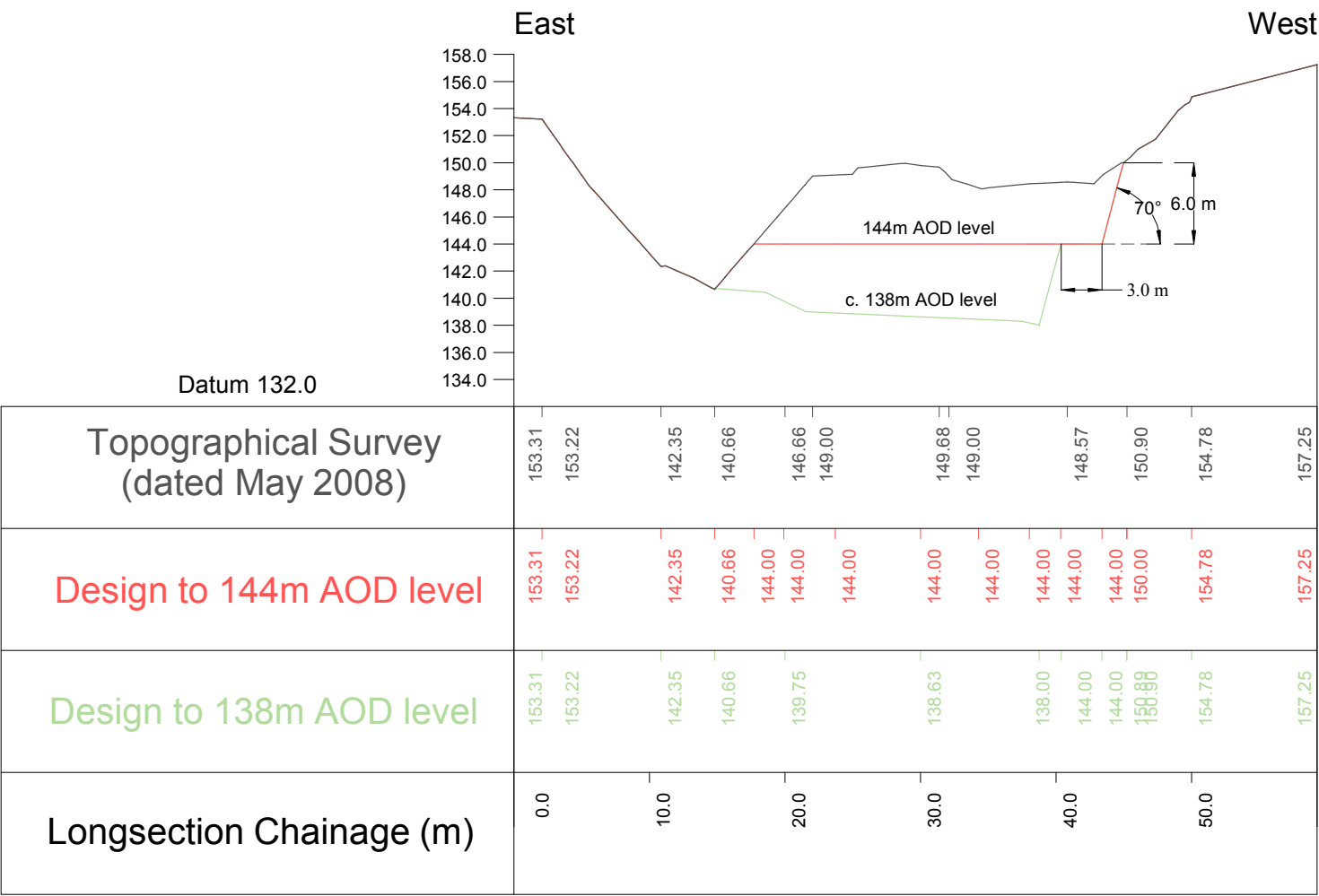
Key GeoSolutions Ltd

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Audley Avenue Enterprise Park
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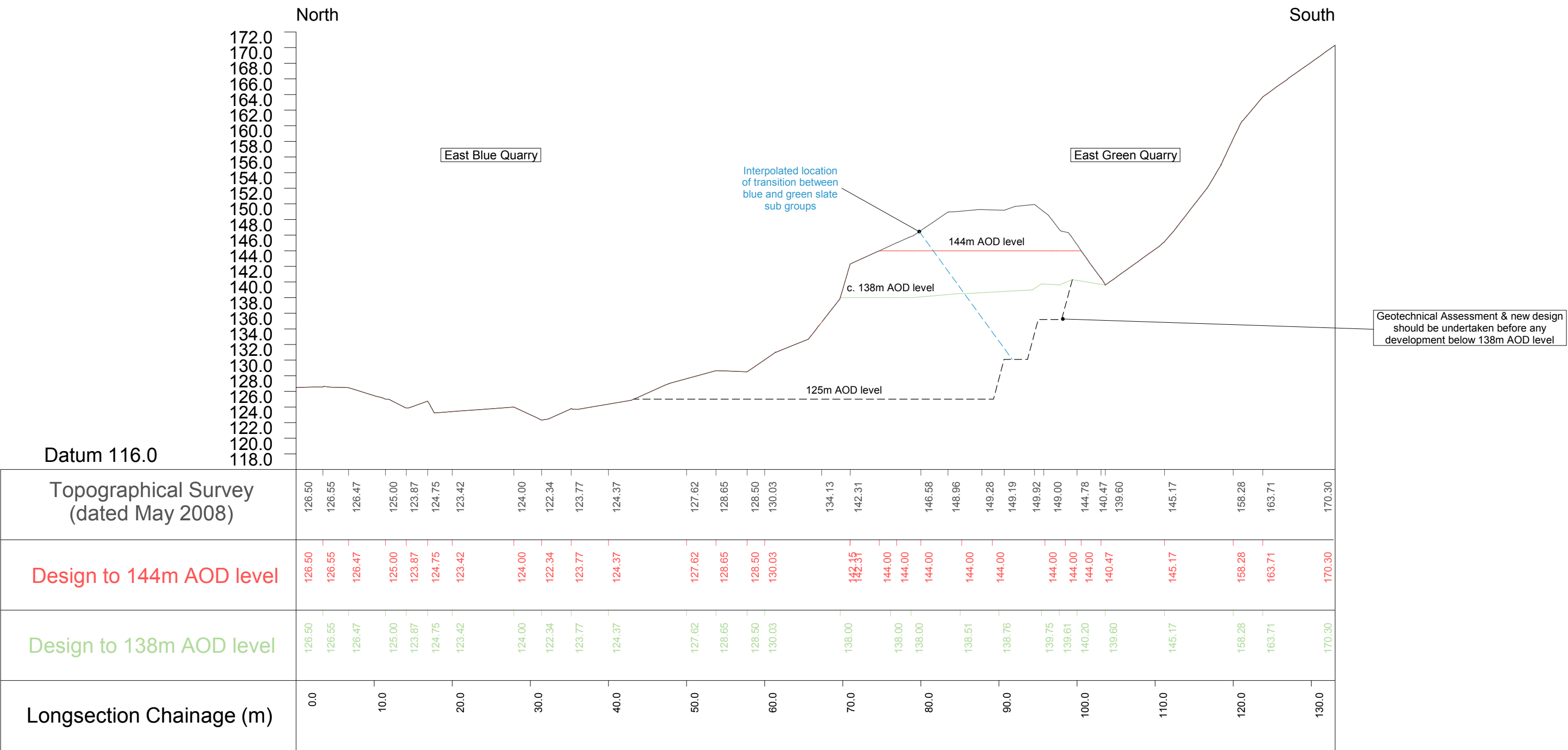
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Drawn	Checked	Date	Scale @ A3
S Gibb	JA	Oct '10	1:1000
Drawing No.			Revision
10-312-D-002			



Section A - A'



Section B - B'

LSS Model used to create plot: ****MODEL DETAIL****

Rev	Revision Detail	Drawn	Date

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CLIENT:

Ty Mawr West Limited

PROJECT:

Ty Mawr West Quarries

TITLE:

Eastern Quarries - Cross Sections

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KEY

GS

Drawn	Checked	Date	Scale @ A2
S Gibb	JA	Nov '10	1:500
Drawing No.			Revision
10-312-D-003			A

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